

DEVELOPMENTS RESHAPING THE NATIONAL CAPITAL'S CITY CENTRE

Canberra Region Tourism Advisory Forum
July 2025



- 3 city shaping projects.
- Total investment of \$1.5bn.
- In aggregate, biggest private sector investment ever made in the Canberra CBD (light rail \$572m).
- Opportunity to re-shape and re-define the Canberra CBD.
- New generation of modern sustainable workspace for the private and public sector.
- Residential, hospitality and accommodation planned in an integrated precinct.
- Staged completion between 2026-2035.



Vernon

AT CONSTITUTION PLACE

1A Constitution Avenue

- \$150m investment
 - 15,000sqm new generation office building
 - Hybrid timber construction
 - Completion Oct 2026
-



Department of Industry,
Science and Resources

ACT Government
Office Building

Constitution Place

Defence

NEW DEVELOPMENT
Corner of Vernon Circle
& Constitution Avenue

Department of
Home Affairs

Department of Foreign
Affairs & Trade (DFAT)

Australian
Federal Police

The Masterplan

Three Buildings, One Precinct



5 Star 130 Rooms
A by Adina Hotel



3 Cafes,
5 Restaurants
and 2 Bars



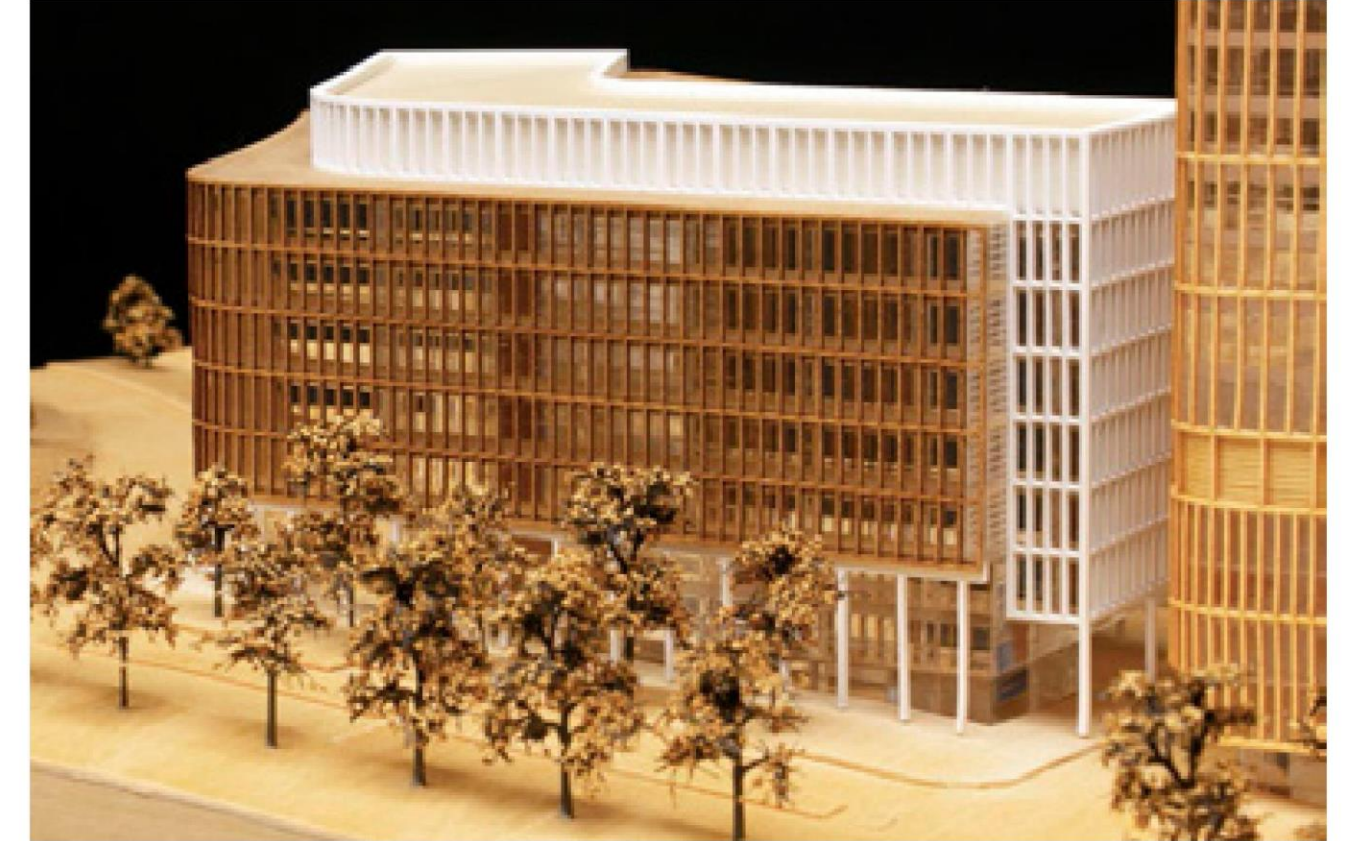
Club Lime
Gymnasium



2022 Property Council of
Australia Best Mixed-Use
Development award



The urban verandah beckons visitors to engage with the building not merely as a structure but as part of the urban fabric of Canberra.





Main Entry
Constitution Avenue

A large drum door marks the main entry into the lobby, raised on large platform steps and highly visible from the corner of Constitution Avenue and Knowles Place.



Upper Lobby

The lobby activates the corner of Constitution Avenue and Knowles Place through its expression as a clear glazed volume recessed within the colonnade.



Lower Lobby

Clear glazing wraps around the carpark ramp allowing views out from the lobby to Constitution Place's retail laneway.



The mass timber verandah structure emerges as the focal point of the building, seamlessly intertwining both interior and architecture. The interplay of wood textures adds a tactile allure while filtering natural light and creating an inviting ambiance to the building's perimeter.



Sustainability

Solar PVs on rooftops



Rainwater harvesting for non-potable water use



Fully electric building + Net zero carbon in operations



Hybrid timber structure



EOT facilities + Bicycle parking



EV charging facilities in the basement



LEGISLATIVE PLAZA

Large Vision Panels for Access to natural light into commercial floorplates



Integrated vertical and horizontal facade for efficient solar shading



Colonnades protect the Pedestrian public realm



Deep soil zones and Vegetated paths within public domain



VERNON CIRCLE

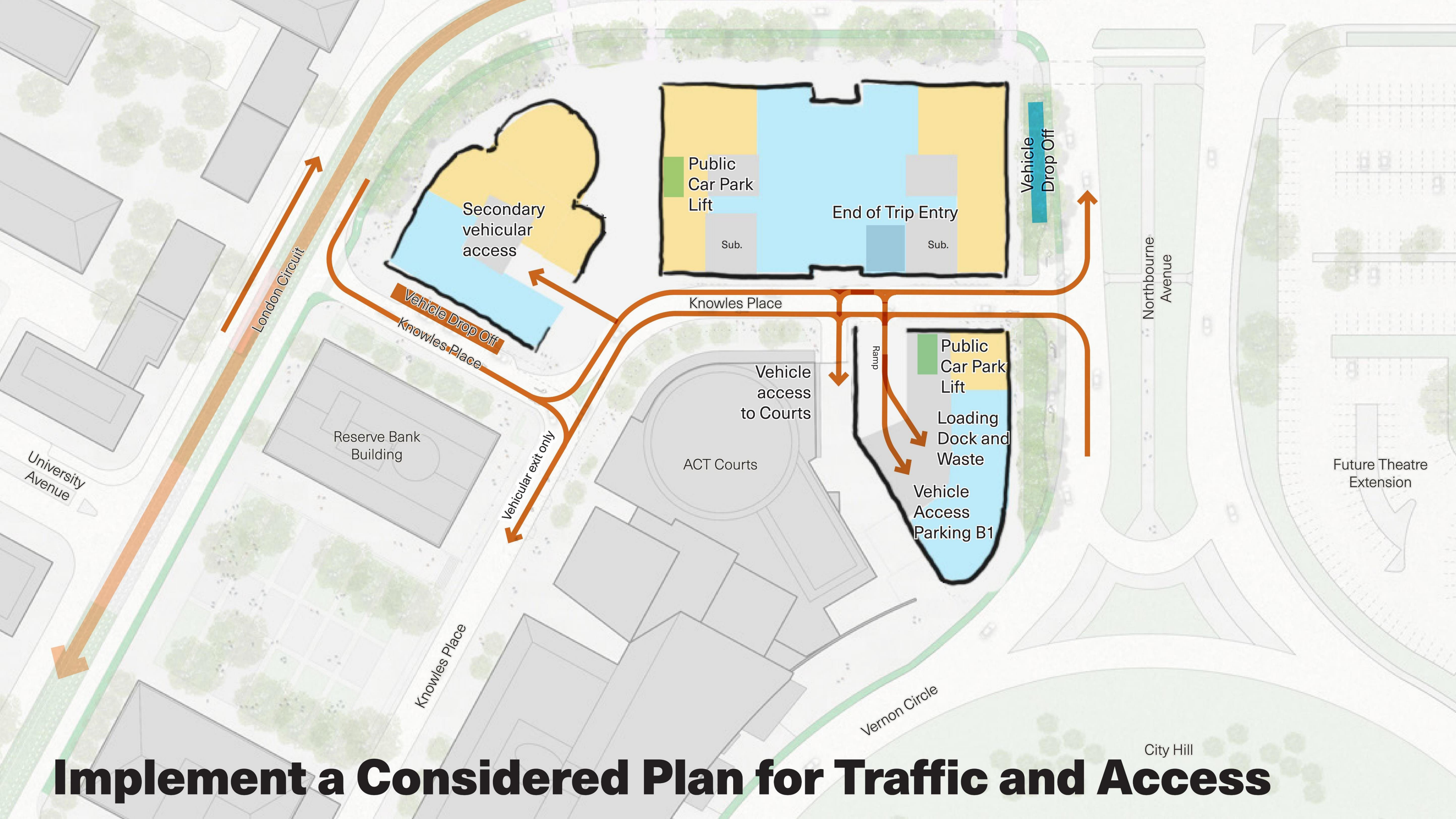
CONSTITUTION AVENUE

KNOWLES PLACE

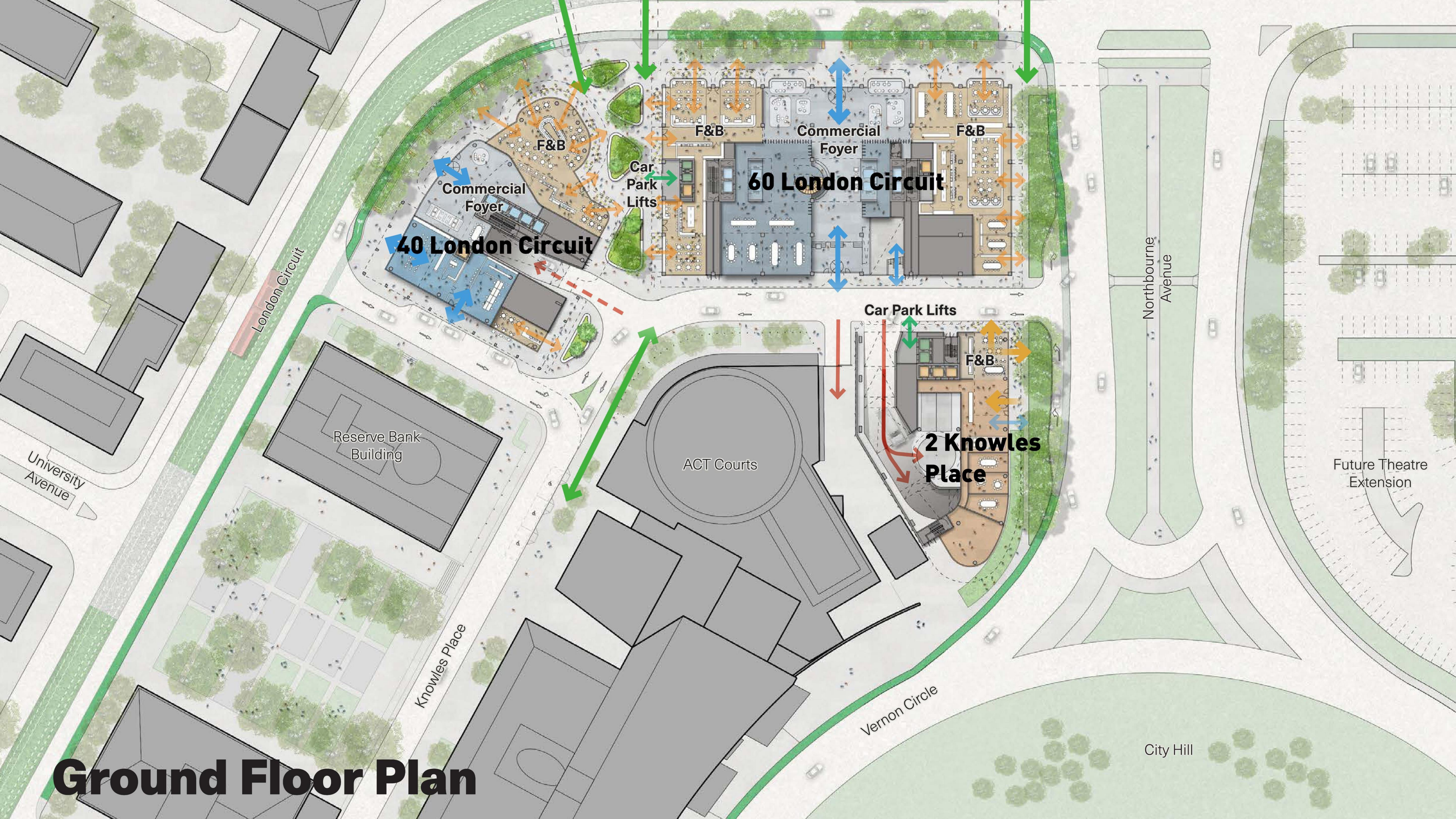


London Central

- 3 buildings
 - 65,000sqm
 - Carbon Neutral
 - Commonwealth Govt 'Net Zero' Compliant
 - New generation of building
 - Mixed-use
 - Integrated precinct
 - Highly active ground plane
 - \$700m investment
 - Completion 2029-2032
-



Implement a Considered Plan for Traffic and Access



Ground Floor Plan

40 London Circuit

- Landmark Tower
- Approach from West
- Relationship to Reserve Bank Building and Courts Precinct
- Lower scale “building in the park”

40 London Circuit

Reserve Bank
Building

Melbourne Building

60 London Circuit

ACT Courts

2 Knowles
Place

60 London Circuit

- Landmark Tower
- Approach from North
(Gateway to city)
- Relationship to
Melbourne Building

Future
Development

2 Knowles Place

- City Hill Geometry
- ACT Courts Interface
- Approach From South

Massing Responds to Context and Opportunities



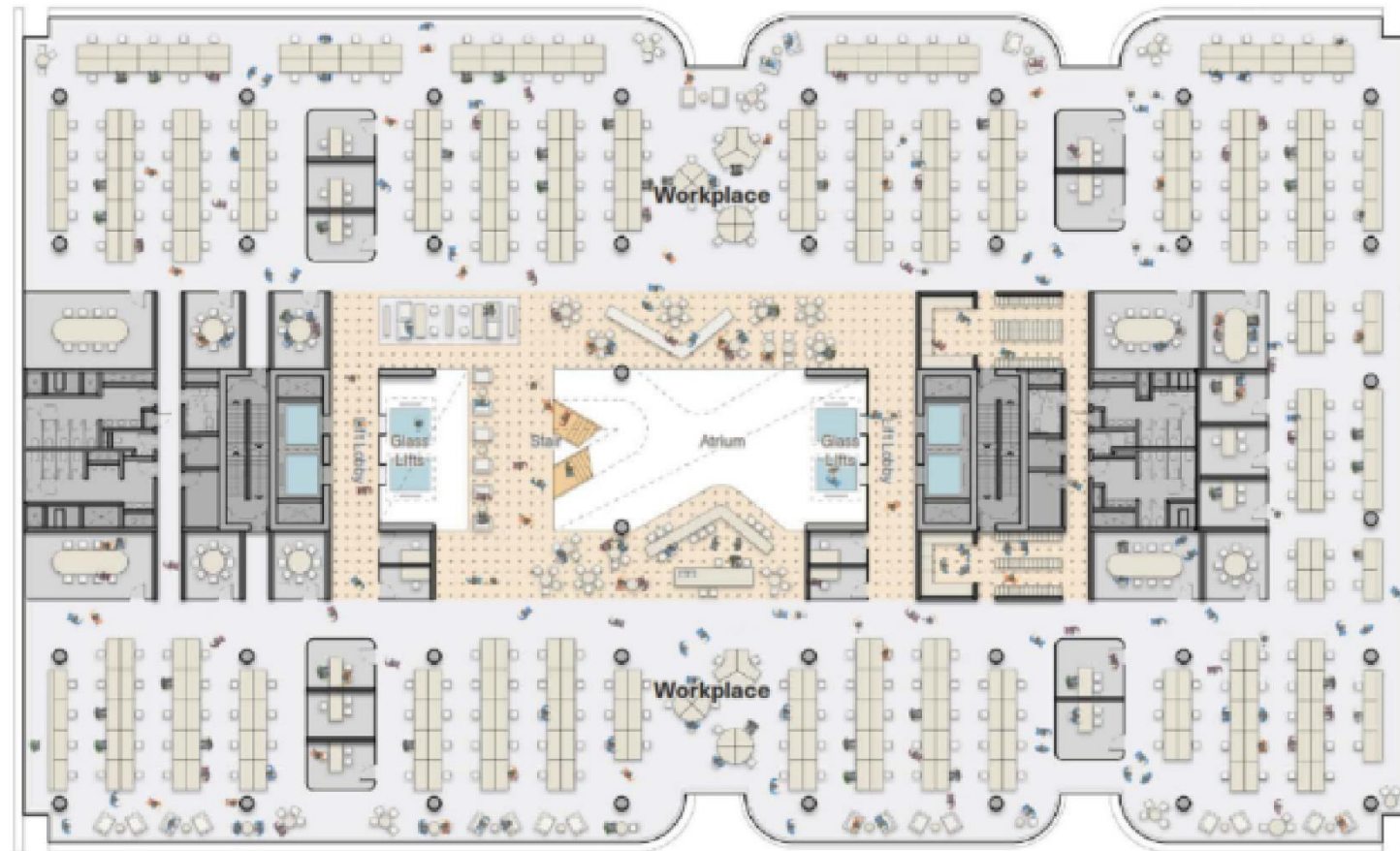
60 London Circuit

View From London Circuit



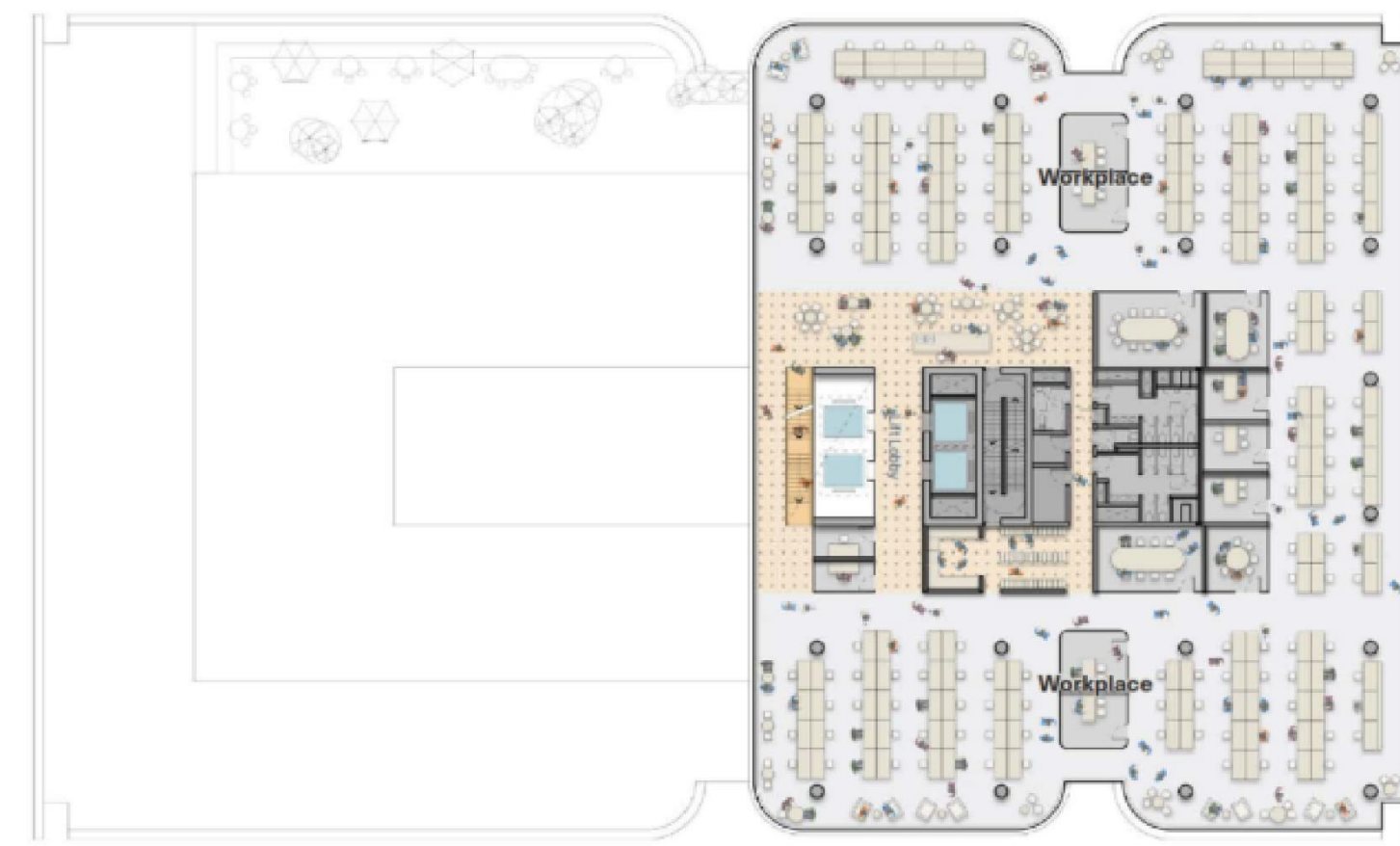


60 London Circuit Commercial



Floor Plate
3945m2 NLA
(1:10 Density shown)

Typical Campus Floor (Levels 2-6)



Floor Plate
1765m2 NLA
(1:10 Density shown)

Typical Tower Floor (Levels 8-11)

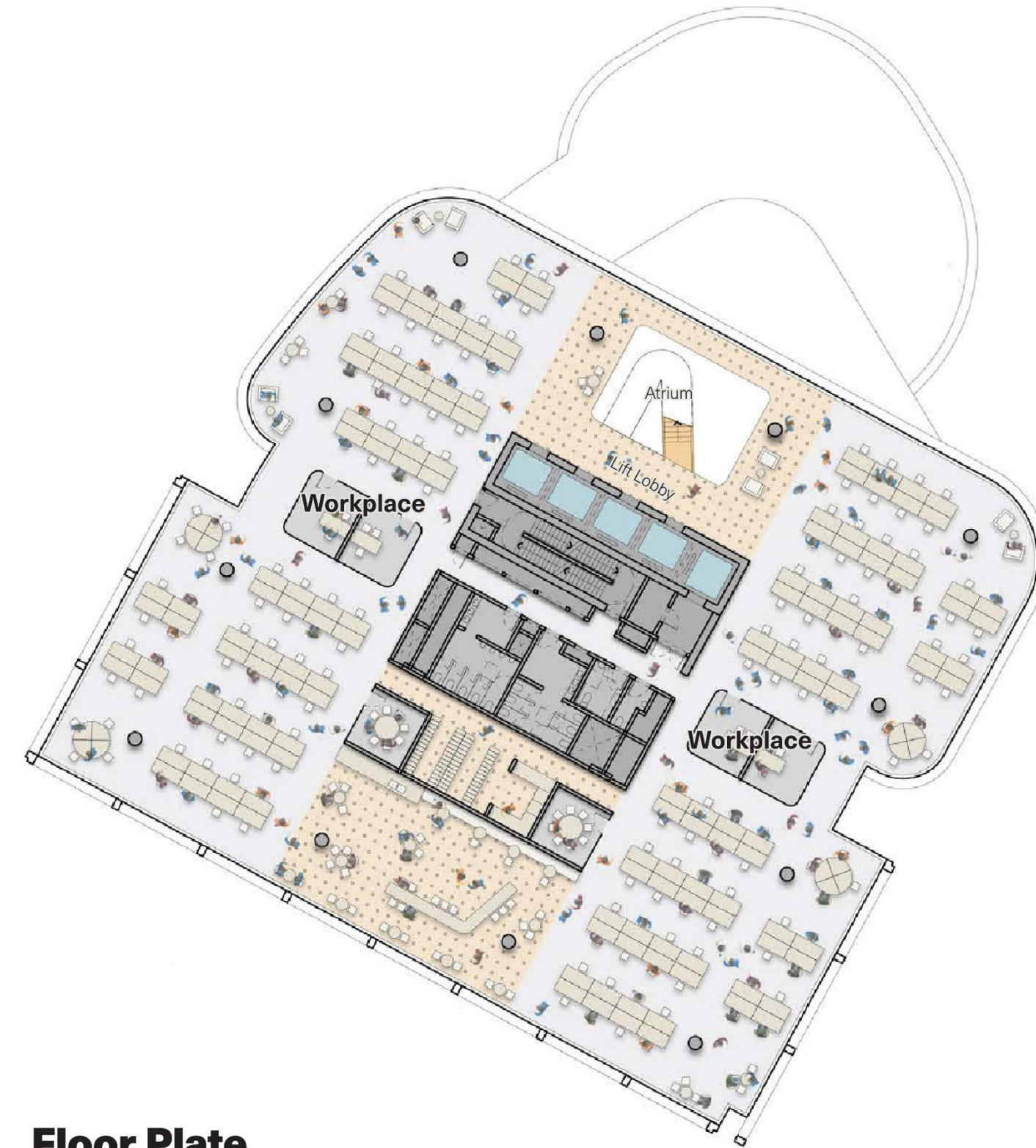


40 London Circuit Commercial



Floor Plate
2042m2 NLA
(1:10 Density shown)

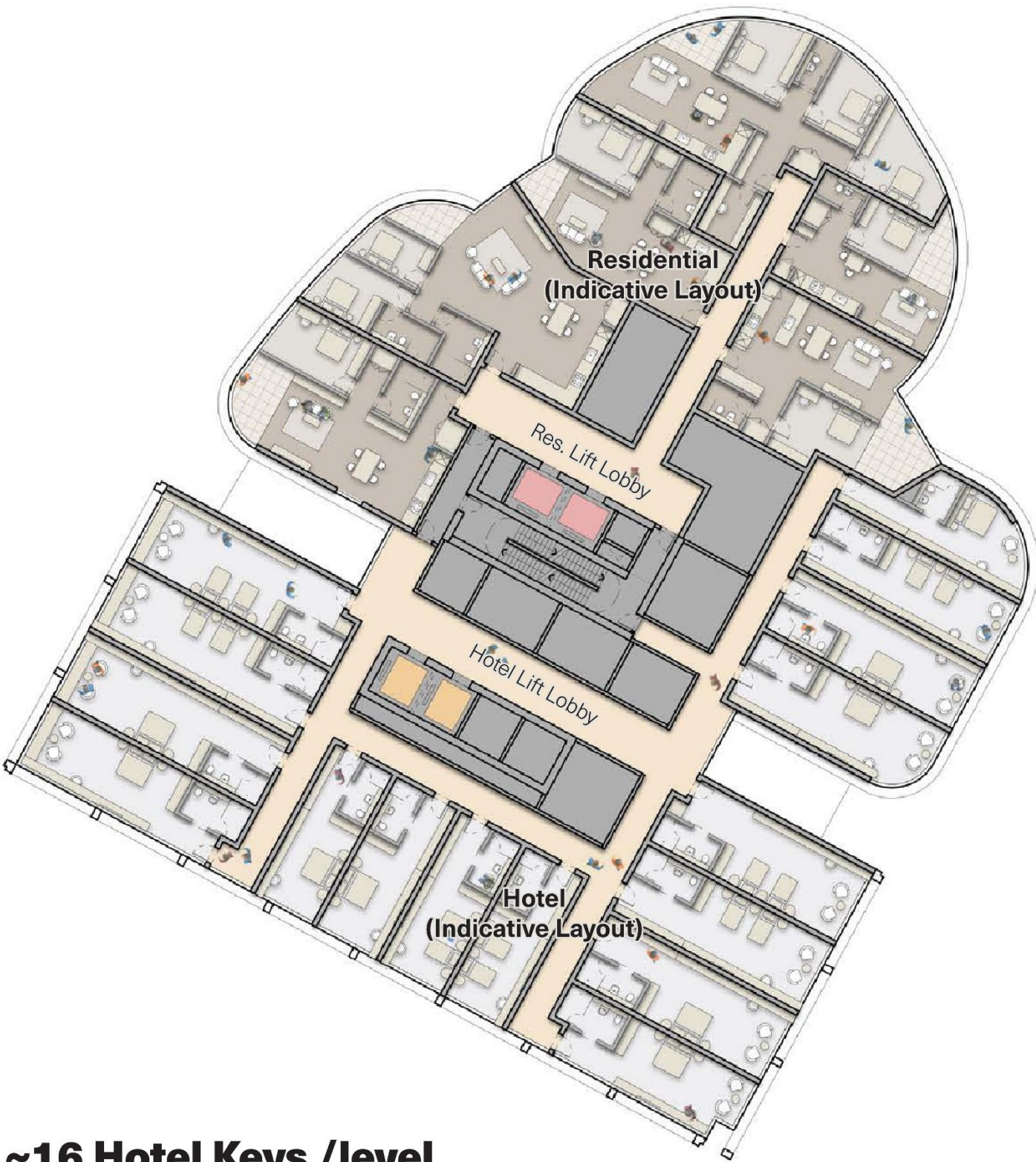
Typical Campus Level



Floor Plate
1634m2 NLA
(1:10 Density shown)

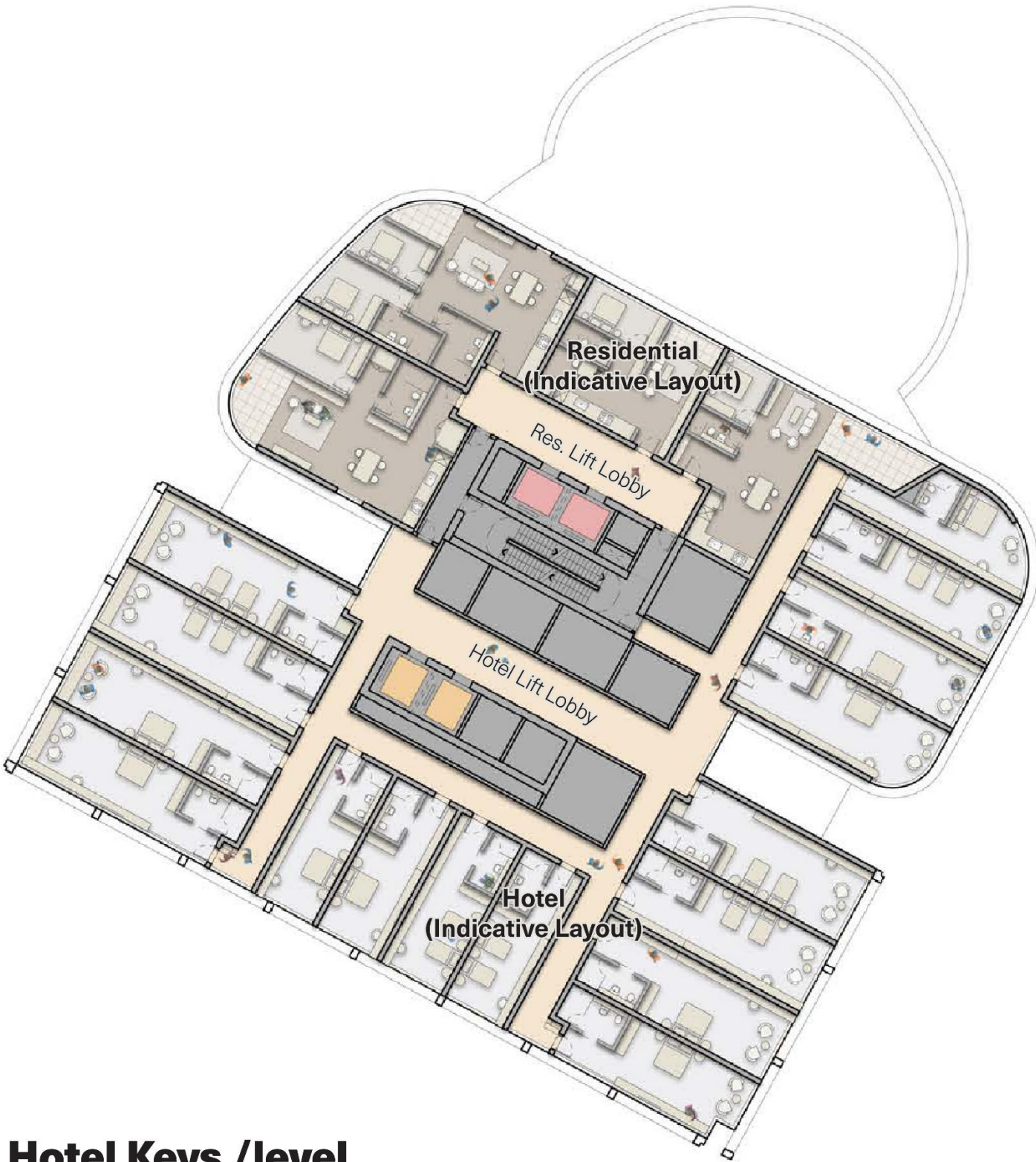
Typical High Rise Level

40 London Circuit **Hotel** / **Residential**



~16 Hotel Keys /level
~6 Apartments /level

Typical Campus Level



~16 Hotel Keys /level
~4 Apartments /level

Typical High Rise Level





Section 121

- 5 buildings
- 100,000sqm
- Landmark mixed-use precinct
- 'Link' between City and Lake
- Residential weighting, approx 500 apartments
- 160 room Hotel
- Activated ground floor retail
- Central 2,500sqm city park
- New density and destination for Canberra
- \$750m investment
- Completion approx. 2030-2035













Planning Reforms

- Government delivering on planning reforms & new 'Development Solutions Department' (City & Environment)
- Agency coordination & red tape

City Infrastructure Delivery

- City Infrastructure Plan & C'wealth support
- Light Rail, new Theatre and Convention Centre

Business Investment Settings

- Event calendar
- High level of ACT business tax?
- Is it time to look at incentives? Reduced payroll tax for the CBD?

Key Pillars for Success
